

**STATE OF ALABAMA
GULF STATE PARK
PIER RENOVATION PROJECT
OCTOBER 2019-SEPTEMBER 2020**

GULF STATE PIER

ORIGINAL CONSTRUCTED / REBUILT IN 2007-2009



PROPERTIES

- 1,540' long
- 20' above water surface
- 20' wide

CONSTRUCTION MATERIALS:

- Concrete Piling Substructure
- Wooden Deck Panels
- Wooden Posts and Handrails

ORIGINAL STRUCTURAL DESIGN 2007-2009 IMAGES

- The pier was originally constructed in 2007. The structure for the pier utilizes 24" square precast driven concrete piles for it's foundation. Battered piles were used for lateral stability. Precast concrete bents are typically spaced 35-ft. on center along the length of the pier. Precast concrete stringers @ 6-ft. on center are used to span between the main bents.
- The original design called for 6" modular pre-cast concrete planks for decking but this was changed during the original construction to a treated southern yellow pine wood decking.

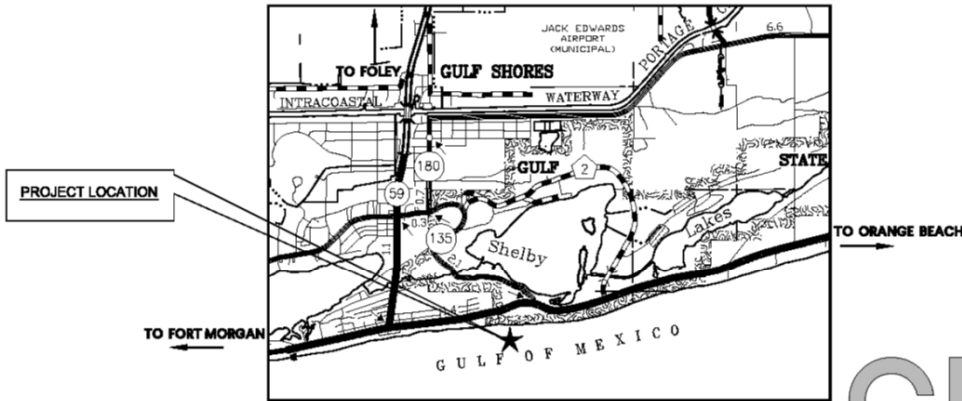


STATE OF ALABAMA
 DEPARTMENT OF CONSERVATION
 AND NATURAL RESOURCES
 ENGINEERING SECTION - STATE PARKS DIVISION

GULF STATE PARK
 2019 PIER RENOVATION PROJECT
 GULF SHORES, ALABAMA

NOVEMBER 1, 2019

PROJECT NUMBERS:
 ABC # - 2019448 GMC CMOB# - 190282 GMC AMOB# - 190020



VICINITY MAP
 N.T.S.

GMC
 GOODWYN | MILLS | CAWOOD
 BUILDING COMMUNITIES

STATE OF ALABAMA:

GOVERNOR: KAY IVEY

DEPARTMENT OF CONSERVATION
 AND NATURAL RESOURCES:

COMMISSIONER: CHRISTOPHER M. BLANKENSHIP

DIRECTOR OF ALABAMA
 STATE PARKS DIVISION: GREGORY M. LEIN

CHIEF OF ENGINEERING SECTION: TERRY N. BOYD, PE, PLS

INDEX TO DRAWINGS:

No.	Sheet Number	Sheet Title
1	00.00	COVERSHEET
2	01.01	OVERALL SITE PLAN
3	01.02	PARKING AREA-PIER
4	01.1	STRUCTURAL GENERAL NOTES
5	01.1	STRUCTURAL FINISHING PLAN
6	01.1	JACK LIFT FINISHING PLANS
7	02.1	TYPICAL DECK PANEL DETAILS
8	02.2	TYPICAL DECK PANEL DETAILS
9	02.3	FINISHING SECTIONS AND DETAILS
10	A1.01	OVERALL PIER LAYOUT
11	A1.02	PIER PANEL LAYOUT PLAN
12	A1.03	PIER PANEL LAYOUT PLAN
13	A1.04	PIER PANEL LAYOUT PLAN
14	A1.05	PIER PANEL LAYOUT PLAN
15	A1.06	PIER PANEL LAYOUT PLAN
16	A1.07	PIER PANEL LAYOUT PLAN
17	A1.08	PIER PANEL LAYOUT PLAN
18	A1.09	PIER PANEL LAYOUT PLAN
19	A2.01	RAMP SECTION DETAILS
20	A2.02	RESTROOM LAYOUT PLAN
21	A2.03	CONCRESSION DECK LAYOUT PLAN
22	A3.01	CONCRESSION LAYOUT PLAN
23	A3.01	MISCELLANEOUS PHOTOS
24	A3.02	MISCELLANEOUS PHOTOS
25	A3.03	MISCELLANEOUS PHOTOS
26	A3.04	MISCELLANEOUS PHOTOS
27	MPL.01	LEGENDS, NOTES, SPECIFICATIONS, AND DETAILS
28	MPL.01	RENOVATION FLOOR PLANS
29	MPL.01	FLOOR PLANS
30	MPL.01	SCHEDULES
31	EL.01	ELECTRICAL LEGEND AND SPECIFICATIONS
32	EL.01	ELECTRICAL PARKING LOT LIGHTING
33	EL.01	ELECTRICAL PIER LIGHTING
34	EL.02	ELECTRICAL PIER LIGHTING
35	EL.03	ELECTRICAL PIER LIGHTING
36	EL.04	ELECTRICAL PIER LIGHTING
37	EL.05	ELECTRICAL PIER LIGHTING
38	EL.06	ELECTRICAL PIER LIGHTING
39	EL.07	ELECTRICAL PIER LIGHTING
40	EL.08	ELECTRICAL PIER LIGHTING
41	EL.01	ELECTRICAL INDEX AND SCHEDULES
42	EL.02	ELECTRICAL DETAILS

RENOVATION PROJECT DESIGN TEAM:

ARCHITECTURAL	GOODWYN, MILLS & CAWOOD, INC.
CIVIL ENGINEERING	GOODWYN, MILLS & CAWOOD, INC.
STRUCTURAL ENGINEERING	BARTER & ASSOCIATES, INC.
ELECTRICAL ENGINEERING	DELL CONSULTING
PLUMBING ENGINEERING	DELL CONSULTING
MECHANICAL ENGINEERING	DELL CONSULTING

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01/02/2019

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 PIER RENOVATION
 2080 EAST BEACH BLVD
 GULF SHORES, ALABAMA 36542
 B.C. No. 2019448
 GMC No: CMOB190282
 GMC No: AMOB180020



COVERSHEET

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2019/2020 GULF STATE PIER RENOVATION DESIGN TEAM

CIVIL ENGINEERING AND
ARCHITECTURE:



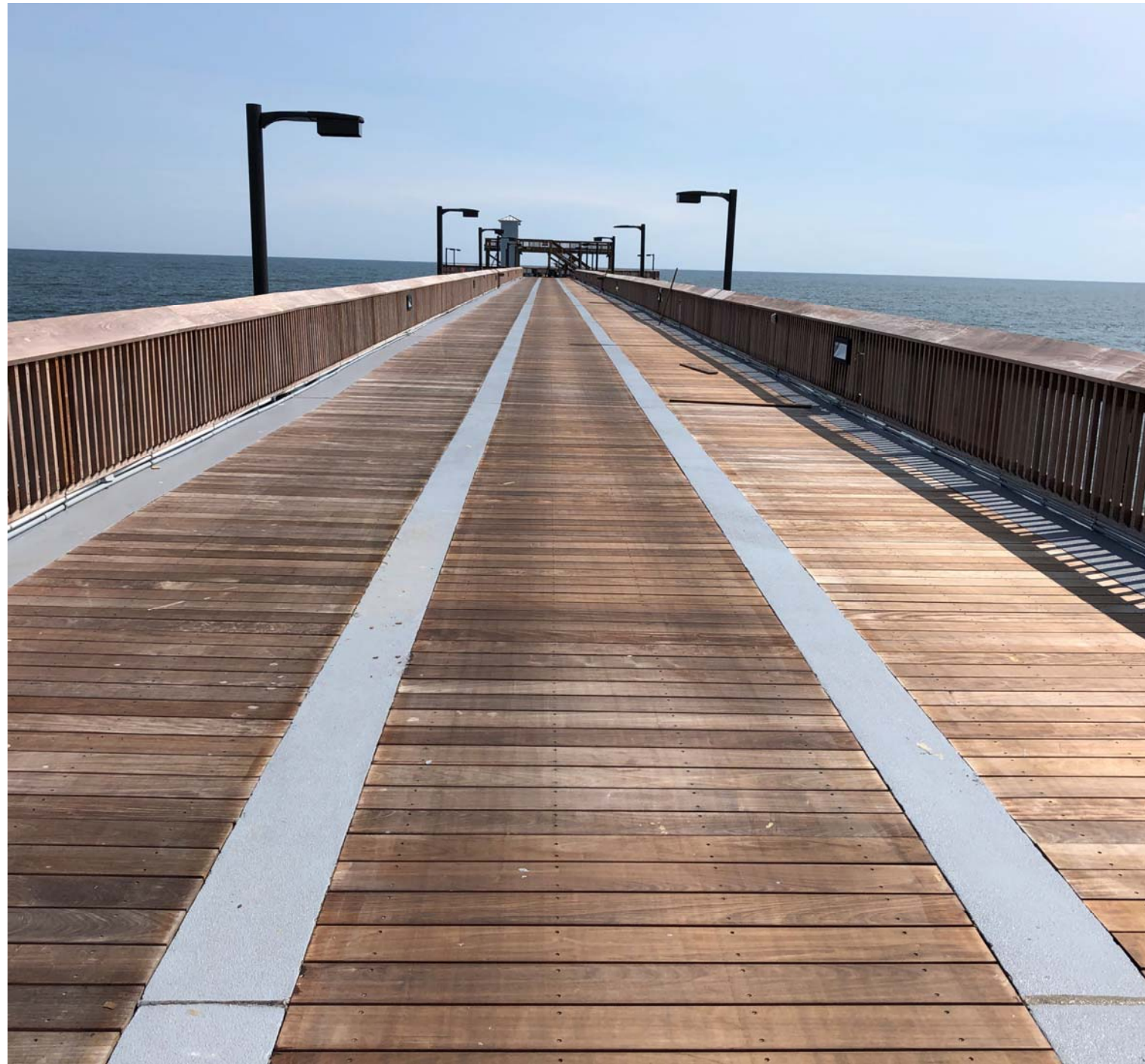
GOODWYN MILLS & CAWOOD, INC.

STRUCTURAL ENGINEERING:



BARTER & ASSOCIATES, INC.
STRUCTURAL ENGINEERS

ELECTRICAL ENGINEERING,
MECHANICAL ENGINEERING,
PLUMBING ENGINEERING:



PIER DECKING REPLACEMENT OPTIONS

1. TREATED PINE

- PRO'S – ECONOMICAL
- CON'S – LIFESPAN, PREVIOUS ISSUES

2. THRUFLOW/SURE STEP DECKING

- PRO'S – LIGHTWEIGHT, WATER FLOWS THROUGH
- CON'S – STRUCTURAL SUPPORT, CRACKING, COST

3. TREX / COMPOSITE DECKING

- PRO'S – LIFESPAN, LOW MAINTENANCE
- CON'S – STRUCTURAL SUPPORT, SURFACE TEMPERATURE, COST

4. IPE

- PRO'S – LOW MAINTENANCE, LIFESPAN, STRUCTURAL SUPPORT
- CON'S – COST



RESEARCH OF NEW DECKING MATERIALS -
WAREHOUSE HOUSING IPE MATERIALS





**EXISTING STRUCTURAL CONSTRUCTION
2020 WEATHERING IMAGE**

**VIEW OF ORIGINAL
DECK PANEL CONSTRUCTION
(2 LAYERS OF 2X PINE DECKING)**

- By 2019 the treated wood pine decking had deteriorated significantly and was in need of replacement. IPE which is naturally resistant to environmental conditions was selected as the new decking material.

RENOVATION STRUCTURAL SCOPE

- The exposed top surface of the concrete stringers was delaminated in certain locations. Surface repairs were made where required structurally and a new coating was added to preserve the concrete from additional delamination.
- The pine boards had reached their lifespan by delaminating including whole panel failures in numerous locations.



EXISTING CONCRETE DELAMINATION



EXISTING DECK DELAMINATION

RENOVATION STRUCTURAL SCOPE

- The new modular IPE deck panels were pre-fabricated on site in approximately 6-ft. lengths. Sub-framing was of 2x and 3x rough cut Southern yellow pine material.
- All fasteners and attachment hardware were stainless steel.
- Prefabricated panels spanned between adjacent concrete stringers and were supported on the existing 6-inch deep concrete ledge.
- Modular decking panels were loose laid and were intended to “blow out” when subjected to impact from high velocity dynamic wave action.



RENOVATION STRUCTURAL SCOPE

- All existing treated wood pine decking panels were replaced with new IPE decking panels.
- All existing handrails were removed and re-constructed with IPE material.



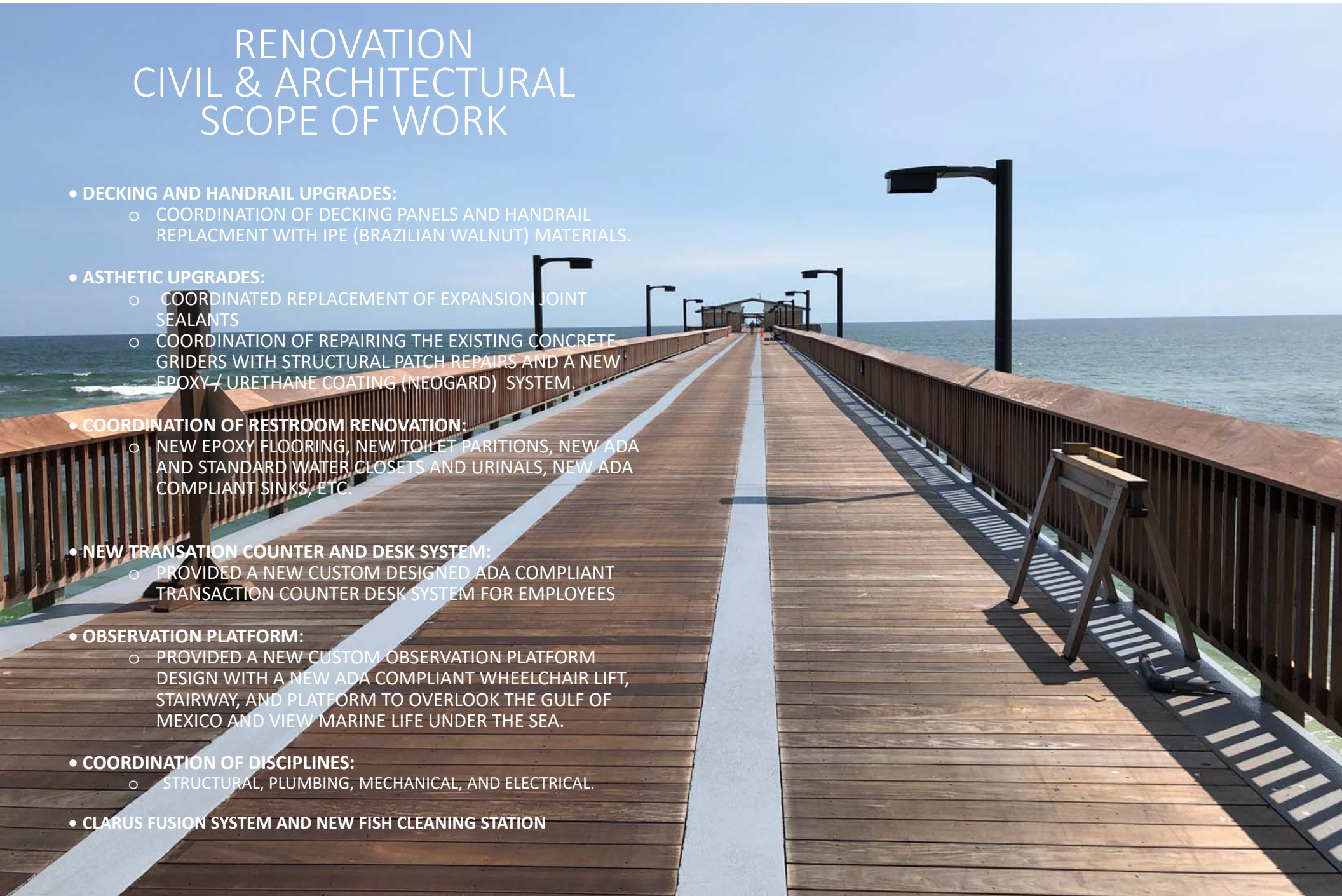
RENOVATION STRUCTURAL SCOPE

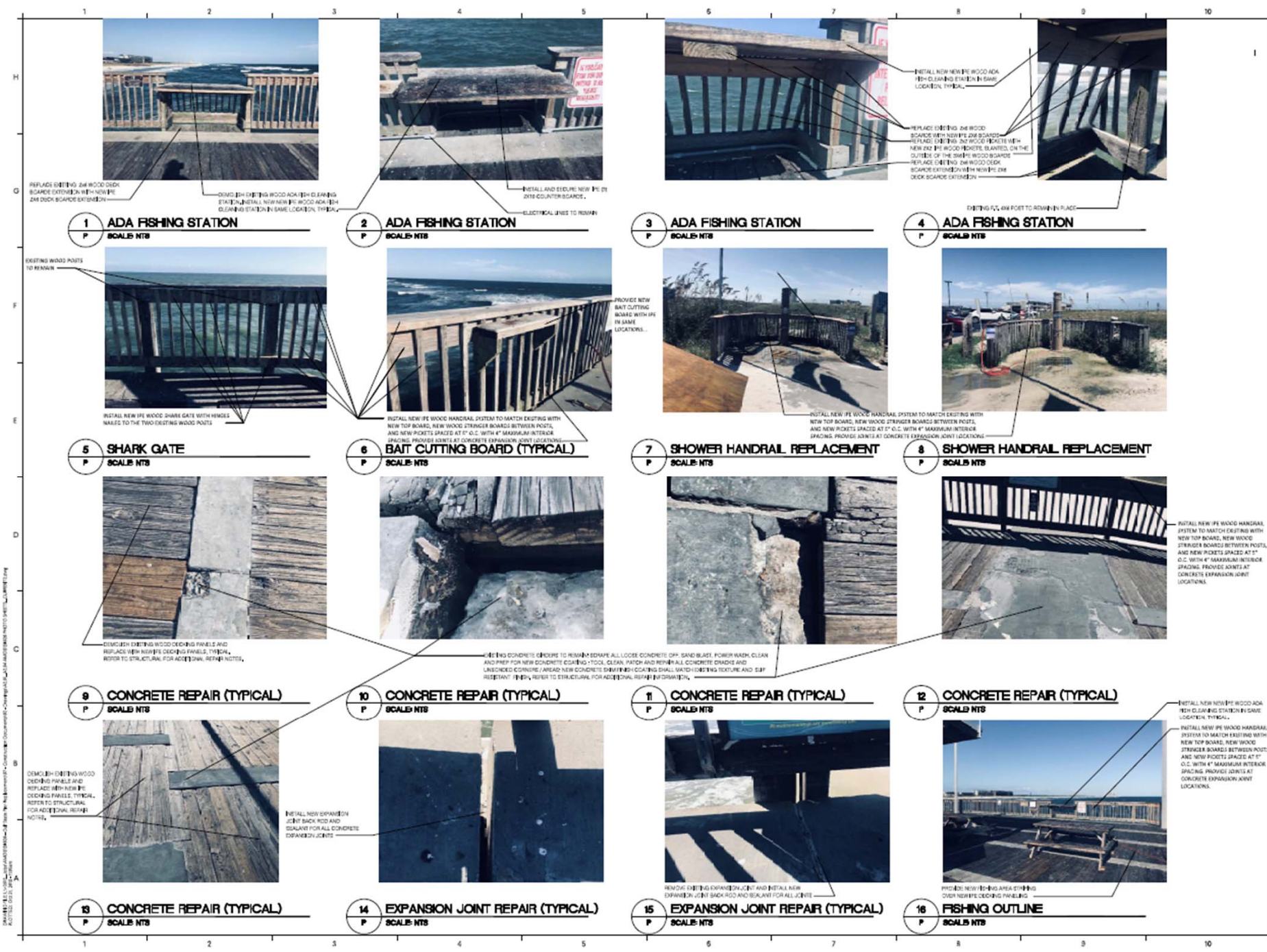
- A shark observation tower with ADA lift was planned for the far south end of the pier. The observation platform was of conventional wood framing with IPE decking and rails. Custom stainless steel hardware was used to connect the heavy timber posts to the top of the concrete stringers.



RENOVATION CIVIL & ARCHITECTURAL SCOPE OF WORK

- **DECKING AND HANDRAIL UPGRADES:**
 - COORDINATION OF DECKING PANELS AND HANDRAIL REPLACEMENT WITH IPE (BRAZILIAN WALNUT) MATERIALS.
- **ASTHETIC UPGRADES:**
 - COORDINATED REPLACEMENT OF EXPANSION JOINT SEALANTS
 - COORDINATION OF REPAIRING THE EXISTING CONCRETE GRIDERS WITH STRUCTURAL PATCH REPAIRS AND A NEW EPOXY / URETHANE COATING (NEOGARD) SYSTEM.
- **COORDINATION OF RESTROOM RENOVATION:**
 - NEW EPOXY FLOORING, NEW TOILET PARTITIONS, NEW ADA AND STANDARD WATER CLOSETS AND URINALS, NEW ADA COMPLIANT SINKS, ETC.
- **NEW TRANSACTION COUNTER AND DESK SYSTEM:**
 - PROVIDED A NEW CUSTOM DESIGNED ADA COMPLIANT TRANSACTION COUNTER DESK SYSTEM FOR EMPLOYEES
- **OBSERVATION PLATFORM:**
 - PROVIDED A NEW CUSTOM OBSERVATION PLATFORM DESIGN WITH A NEW ADA COMPLIANT WHEELCHAIR LIFT, STAIRWAY, AND PLATFORM TO OVERLOOK THE GULF OF MEXICO AND VIEW MARINE LIFE UNDER THE SEA.
- **COORDINATION OF DISCIPLINES:**
 - STRUCTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL.
- **CLARUS FUSION SYSTEM AND NEW FISH CLEANING STATION**





1 ADA FISHING STATION
SCALE: NTS

2 ADA FISHING STATION
SCALE: NTS

3 ADA FISHING STATION
SCALE: NTS

4 ADA FISHING STATION
SCALE: NTS

5 SHARK GATE
SCALE: NTS

6 BAIT CUTTING BOARD (TYPICAL)
SCALE: NTS

7 SHOWER HANDRAIL REPLACEMENT
SCALE: NTS

8 SHOWER HANDRAIL REPLACEMENT
SCALE: NTS

9 CONCRETE REPAIR (TYPICAL)
SCALE: NTS

10 CONCRETE REPAIR (TYPICAL)
SCALE: NTS

11 CONCRETE REPAIR (TYPICAL)
SCALE: NTS

12 CONCRETE REPAIR (TYPICAL)
SCALE: NTS

13 CONCRETE REPAIR (TYPICAL)
SCALE: NTS

14 EXPANSION JOINT REPAIR (TYPICAL)
SCALE: NTS

15 EXPANSION JOINT REPAIR (TYPICAL)
SCALE: NTS

16 FISHING OUTLINE
SCALE: NTS

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PIER RENOVATION
2005 EAST BEACH BLVD
GULF SHORES, ALABAMA 36542

B.C. No. 2019448
GMC No. CMOB190282
GMC No. AMOB190020



MISCELLANEOUS
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Sheet 15 of 17

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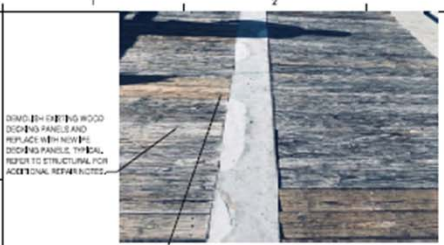
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1 2 3 4 5 6 7 8 9 10



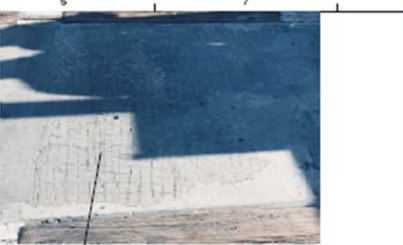
REMOVE EXISTING WOOD DECKING PANELS AND REPLACE WITH NEW 2x4 DECKING PANELS. REFER TO STRUCTURAL FOR ADDITIONAL REFERENCE NOTES.

17 **CONCRETE REPAIR**
SCALE: NTS
P



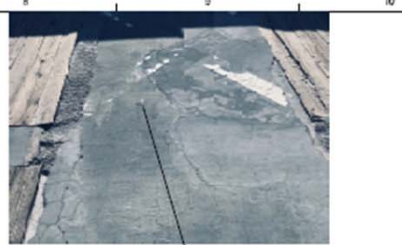
EXISTING CONCRETE DECKERS TO REMAIN. SCRAPE ALL LOOSE CONCRETE OFF. SAND BLAST, POWER WASH, CLEAN AND PREP FOR NEW CONCRETE COATING. TO DO: CLEAN, PATCH AND REPAIR ALL CONCRETE CRACKS AND UNBROKEN CORNERS. USE NEW CONCRETE WITH FINISH COATING. SHALL MATCH EXISTING TEXTURE AND BE P-RESISTANT FINISH. REFER TO STRUCTURAL FOR ADDITIONAL REFERENCE INFORMATION.

18 **CONCRETE REPAIR**
SCALE: NTS
P



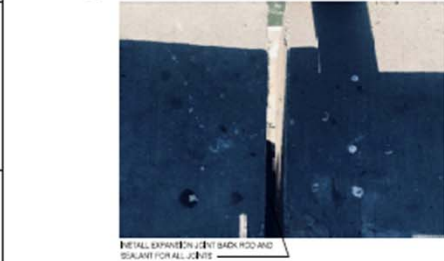
EXISTING CONCRETE DECKERS TO REMAIN. SCRAPE ALL LOOSE CONCRETE OFF. SAND BLAST, POWER WASH, CLEAN AND PREP FOR NEW CONCRETE COATING. TO DO: CLEAN, PATCH AND REPAIR ALL CONCRETE CRACKS AND UNBROKEN CORNERS. USE NEW CONCRETE WITH FINISH COATING. SHALL MATCH EXISTING TEXTURE AND BE P-RESISTANT FINISH. REFER TO STRUCTURAL FOR ADDITIONAL REFERENCE INFORMATION.

19 **CONCRETE REPAIR**
SCALE: NTS
P



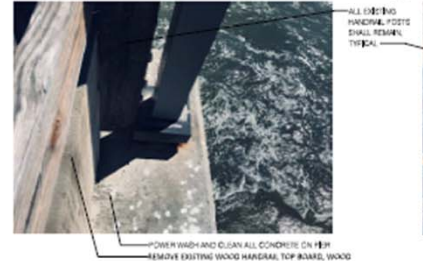
INSTALL NEW 1/2" WOOD HANDRAIL SYSTEM TO MATCH EXISTING WITH NEW TOP BOARD, NEW WOOD STRINGER BOARDS BETWEEN POSTS, AND NEW PICKETS SPACED AT 4" O.C. WITH 4" MAXIMUM INTERIOR SPACING.

20 **ADA FISH CLEANING STATION**
SCALE: NTS
P



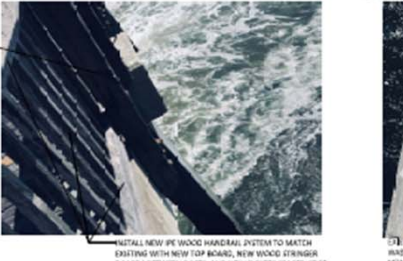
INSTALL EXPANSION JOINT BACK ROD AND SEALANT FOR ALL JOINTS.

21 **CONTROL JOINT REPAIR (TYPICAL)**
SCALE: NTS
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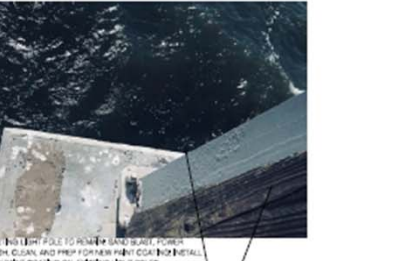
POWER WASH AND CLEAN ALL CONCRETE ON HIGH. REMOVE EXISTING WOOD HANDRAIL, TOP BOARD, WOOD BOARDS SPANNING BETWEEN POSTS, AND POSTS. ALL EXISTING HANDRAIL POSTS SHALL REMAIN. TYPICAL.

22 **HANDRAIL POST + LIGHT POLE (TYPICAL)**
SCALE: NTS
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REMOVE EXISTING WOOD DECKING PANELS AND REPLACE WITH NEW 2x4 DECKING PANELS. REFER TO STRUCTURAL FOR ADDITIONAL REFERENCE NOTES AND NEW PANEL LAYOUT.

23 **HANDRAIL POST (TYPICAL)**
SCALE: NTS
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REMOVE EXISTING LIGHT POLES IN PARKING LOT AND INSTALL NEW LIGHT POLES IN TYPICAL LAYOUT. REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION. THE EXISTING PARKING LOT IS THE MATERIAL LAY DOWN AREA. CONNECTION SHALL REPAIR ALL PROJECT RELATED DAMAGE TO EXISTING PARKING LOT.

24 **LIGHT POLE (TYPICAL)**
SCALE: NTS
P



REMOVE EXISTING SECURITY GATES. INSTALL NEW CUSTOM STAINLESS STEEL SECURITY GATES WITH FOUR (4) HINGES AND ONE (1) ROLLER EACH SIDE TO MATCH EXISTING.

25 **PARKING LOT**
SCALE: NTS
P



POWER WASH AND CLEAN ALL STIFF FACE OVER CORNER WALL. REMOVE ALL REPAIRS. BRIDGE OVER TO CONSTRUCTION. EXISTING CONCRETE DECKERS TO REMAIN. REFER TO CONCRETE COATING.

26 **MAIN PAVILION AND PIER REPLACEMENT**
SCALE: NTS
P



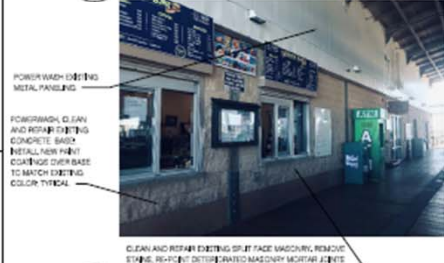
CLEAN AND REPAIR EXISTING STIFF FACE MAGNOLIA. REMOVE STIFF FACE MAGNOLIA DECKING MATERIALS. REPAIR AND REPAIR EXISTING CONCRETE BASE. INSTALL NEW PAINT COATING OVER BASE TO MATCH EXISTING COLOR. TYPICAL.

27 **SECURITY GATE REPLACEMENT**
SCALE: NTS
P



REMOVE EXISTING TRANSACTION WINDOWS. INSTALL NEW TRANSACTION COUNTER SYSTEM UNDER EXISTING WINDOW BRACES WITH FLUSH CONNECTIONS. REFER TO SHEET AGAIN FOR ADDITIONAL DETAILS.

28 **SECURITY GATE REPLACEMENT**
SCALE: NTS
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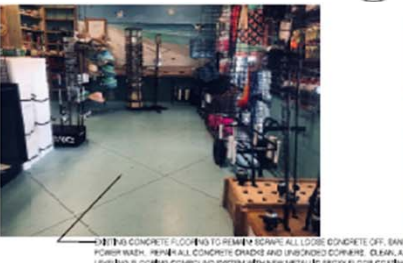
CLEAN AND REPAIR EXISTING STIFF FACE MAGNOLIA. REMOVE STIFF FACE MAGNOLIA DECKING MATERIALS. REPAIR AND REPAIR EXISTING CONCRETE BASE. INSTALL NEW PAINT COATING OVER BASE TO MATCH EXISTING COLOR. TYPICAL.

29 **MAIN BUILDING EXTERIOR REPAIR**
SCALE: NTS
P



CLEAN AND REPAIR EXISTING STIFF FACE MAGNOLIA. REMOVE STIFF FACE MAGNOLIA DECKING MATERIALS. REPAIR AND REPAIR EXISTING CONCRETE BASE. INSTALL NEW PAINT COATING OVER BASE TO MATCH EXISTING COLOR. TYPICAL.

30 **CONCESSIONS NEW COUNTER**
SCALE: NTS
P



EXISTING CONCRETE FLOORING TO REMAIN. SCRAPE ALL LOOSE CONCRETE OFF. SAND BLAST OR SAND DOWN THE CONCRETE FLOOR. POWER WASH, REMOVE ALL CONCRETE CRACKS AND UNBROKEN CORNERS. CLEAN AND PREP FOR NEW COATING SYSTEM. INSTALL NEW SELF-LEVELING FLOORING COMPOUND SYSTEM WITH NEW METALLIC EPOXY FLOOR COATING SYSTEM WITH 1/8" P-RESISTANT FINISH.

31 **BAIT SHOP NEW FLOOR COATING**
SCALE: NTS
P



REMOVE EXISTING SECURITY GATES. INSTALL NEW CUSTOM STAINLESS STEEL SECURITY GATES WITH FOUR (4) HINGES AND ONE (1) ROLLER EACH SIDE TO MATCH EXISTING.

32 **BAIT SHOP NEW FLOOR COATING**
SCALE: NTS
P



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PIER RENOVATION
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Sheet 13 of 13

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 CHECKED BY: ...
 DATE: ...



REPLACE EXISTING HAND DRYER WITH NEW DEEP HAND DRYER SYSTEM
 EXISTING CONCRETE FLOORING TO REMAIN SQUARE ALL EXCESS CONCRETE OFF. POWER WASH, REMOVE ALL CONCRETE CRACKS AND UNFINISHED CORNERS, CLEAN AND PREP FOR NEW COATING SYSTEM. INSTALL NEW SELF-LEVELING FLOORING COMPOUND SYSTEM WITH NEW METALLIC EPoxy FLOOR COATING SYSTEM WITH SLP RESISTANT FINISH.



REPLACE EXISTING ADA WALL HUNG WATER CLOSET WITH A NEW ADA WALL HUNG WATER CLOSET (TYPICALLY REFER TO PLUMBING DRAWINGS)
 REMOVE EXISTING TOILET PARTITIONS, INSTALL NEW FLOOR MOUNTED SOLID PHENOLIC TOILET PARTITIONS



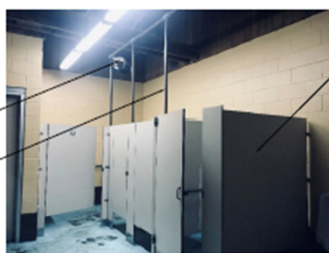
33 MAIN WOMENS RESTROOM
SCALE: NTS

34 MAIN WOMENS RESTROOM
SCALE: NTS

35 MAIN WOMENS RESTROOM
SCALE: NTS



REMOVE EXISTING SINKS AND COUNTERS, EXTERIOR CLEAN, PATCH AND REPAIR WALLS FOR NEW PREFABRICATED 3 PERSON LAUNDRY SYSTEM, REFER TO PLUMBING FOR ADDITIONAL DETAILS
 REPLACE EXISTING EXHAUST FAN IN RESTROOM REFER TO PLUMBING FOR NEW WORK
 EXISTING METAL BRACING TO REMAIN, METALLIC NEW PAINT COATING ON METAL BRACING



REMOVE EXISTING TOILET PARTITIONS, INSTALL NEW FLOOR MOUNTED SOLID PHENOLIC TOILET PARTITIONS



REPLACE EXISTING ADA WALL HUNG AND REGULAR UPRIAL, NEW ADA WALL HUNG, UPRIAL AND REGULAR UPRIAL, (TYPICALLY REFER TO PLUMBING DRAWINGS)

36 MAIN MENS RESTROOM
SCALE: NTS

37 MAIN MENS RESTROOM
SCALE: NTS

38 MAIN MENS RESTROOM
SCALE: NTS



REPLACE EXISTING HAND DRYER WITH NEW DEEP HAND DRYER SYSTEM
 REMEDIATED WASTE RECEPTACLE TO REMAIN



REMOVE EXISTING TOILET PARTITIONS, INSTALL NEW FLOOR MOUNTED SOLID PHENOLIC TOILET PARTITIONS
 EXISTING CONCRETE FLOORING TO REMAIN, SCRAPE ALL EXCESS CONCRETE OFF, SAND BLAST OR GRIND DOWN THE CONCRETE FLOOR, POWER WASH, REPAIR ALL CONCRETE CRACKS AND UNFINISHED CORNERS, CLEAN AND PREP FOR NEW COATING SYSTEM, INSTALL NEW SELF-LEVELING FLOORING COMPOUND SYSTEM WITH NEW METALLIC EPoxy FLOOR COATING SYSTEM WITH SLP RESISTANT FINISH.



EXISTING DOOR TO REMAIN

39 MAIN MENS RESTROOM
SCALE: NTS

40 MAIN MENS RESTROOM
SCALE: NTS

41 MAIN MENS RESTROOM
SCALE: NTS



EXISTING CONCRETE MASONRY WALLS TO REMAIN, SAND BLAST, POWER WASH, CLEAN REPAIR, AND PREP EXISTING CONCRETE MASONRY UNITS FOR NEW PAINT COATING. INSTALL NEW EPoxy PAINT COATING OVER CONCRETE MASONRY WALLS. COLOR TO BE DETERMINED DURING CONSTRUCTION. TYPICAL ALL REVISIONS.



REPLACE EXISTING LIGHT FIXTURES REFER TO ELECTRICAL DRAWINGS
 EXISTING WOOD WALL PANELING AND CEILING TO REMAIN, CLEAN EXISTING WOOD AND PREPARE FOR NEW STAIN COATING



42 MAIN MENS RESTROOM
SCALE: NTS

43 MAIN MENS RESTROOM
SCALE: NTS

44 MAIN MENS RESTROOM
SCALE: NTS



REPLACE EXISTING EXHAUST FAN IN RESTROOM REFER TO PLUMBING FOR NEW WORK



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 GULF SHORES, ALABAMA 36542
 B C No: 2019448
 GMC No: CMOB190282
 GMC No: AMOB1900220



MISCELLANEOUS
 PHOTOS
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 Sheet 13 of 15

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GMC No. AMOB190020



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PHOTOS
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Sheet 15 of 15

BEFORE AND AFTER MAIN MENS RESTROOM

BEFORE



AFTER

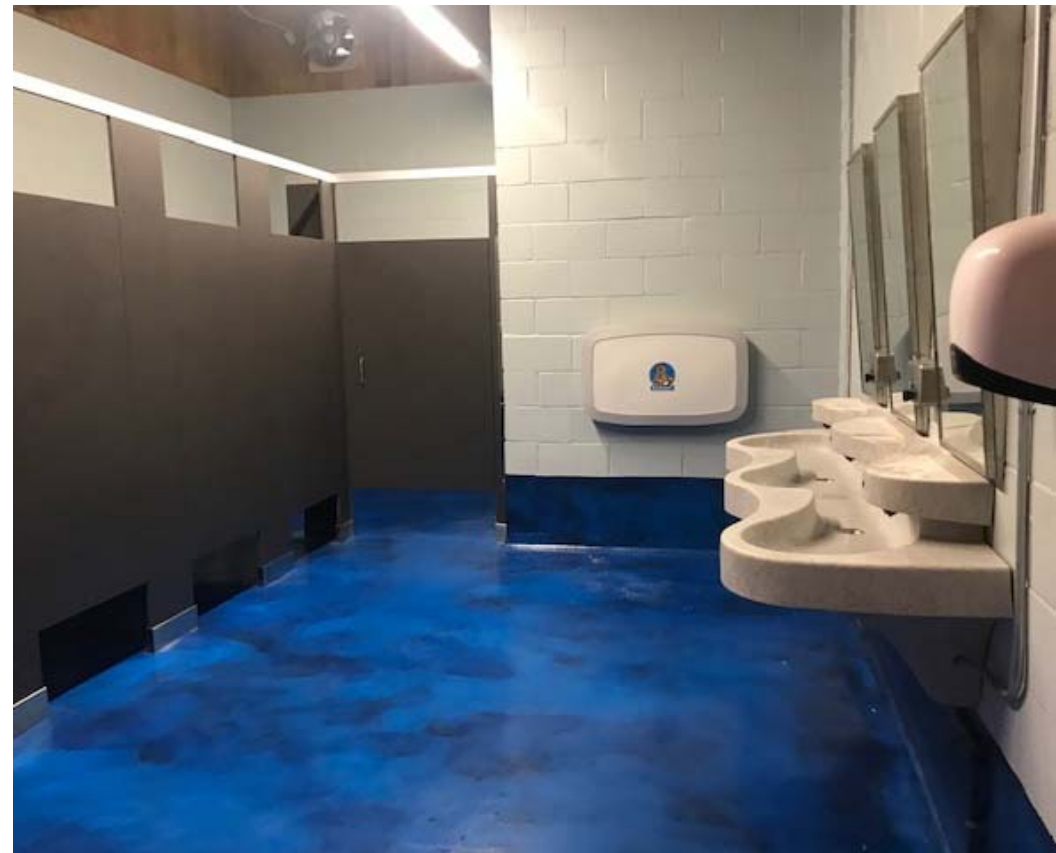


BEFORE AND AFTER MAIN WOMENS RESTROOM

BEFORE



AFTER



BEFORE AND AFTER MID-PIER RESTROOMS

**WOMENS MID-PIER
BEFORE**



**MENS MID-PIER
AFTER**



BEFORE AND AFTER TRANSACTION COUNTER

BEFORE

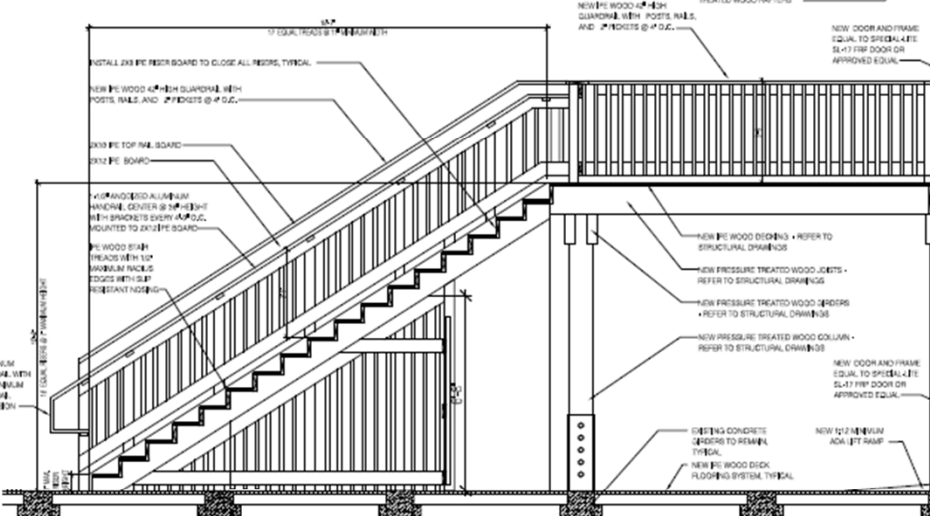


AFTER

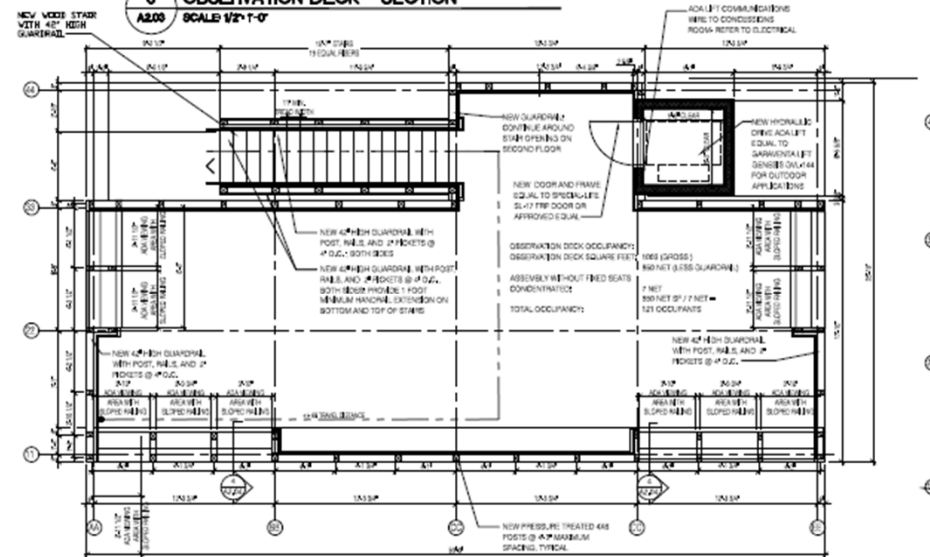


GENERAL ADA STAIR NOSlDGE NOTE: THE RADIUS OF CURVATURE AT THE LEADING EDGE OF THE TREAD SHALL BE NOMINALLY 10 INCHES THAT PROJECT BEYOND THE RISER SHALL HAVE THE UNDERSIDE OF THE LEADING EDGE CURVED OR BEVELLED. RISERS SHALL BE PERMITTED TO SLOPE UNDER THE TREAD AT AN ANGLE OF 33 DEGREES MAXIMUM FROM VERTICAL. THE PERMITTED PROJECTION OF THE NOSlDGE SHALL EXCEED 1-1/8 INCHES MAXIMUM OVER THE TREAD BELOW.

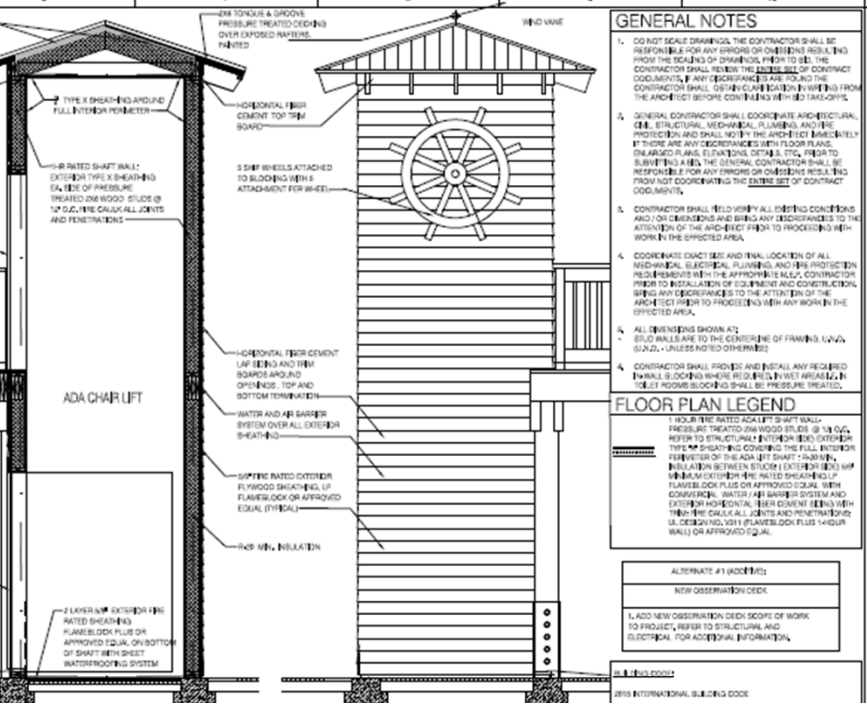
ALL STAIR RISERS SHALL BE CLOSED RISERS.



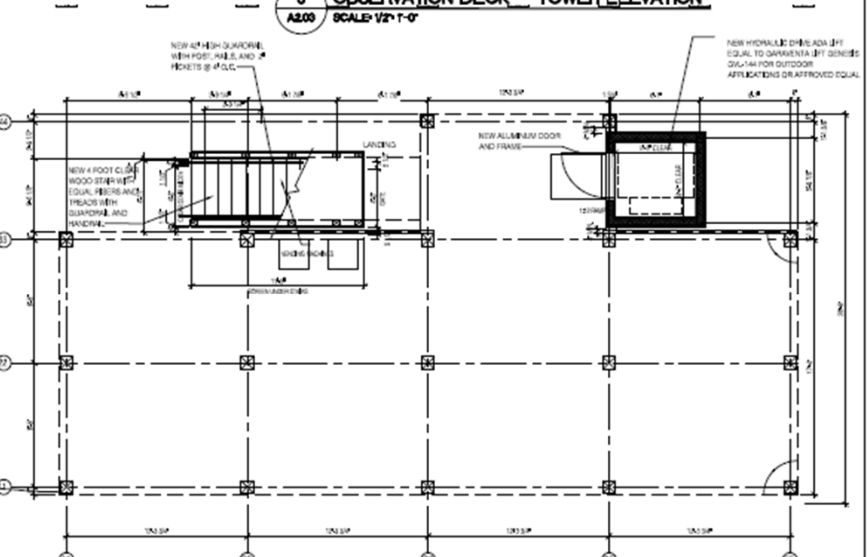
3 OBSERVATION DECK - SECTION
A2.00 / SCALE 1/2" = 1'-0"



2 OBSERVATION DECK - UPPER DECK
A2.00 / SCALE 1/4" = 1'-0"



3 OBSERVATION DECK - TOWER ELEVATION
A2.00 / SCALE 1/2" = 1'-0"



2 OBSERVATION DECK - LOWER DECK
A2.00 / SCALE 1/4" = 1'-0"

GENERAL NOTES

- DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS RESULTING FROM THE SCAILING OF DRAWINGS. PRIOR TO THE CONTRACTOR SHALL VERIFY THE EXISTENCE OF CONTRACT DOCUMENTS. ANY DISCREPANCIES ARE TO BE FOUND BY THE CONTRACTOR SHALL BE THE CONTRACTOR'S RESPONSIBILITY FROM THE ARCHITECT BEFORE COMMENCEMENT OF WORK.
- GENERAL CONTRACTOR SHALL COORDINATE ARCHITECTURAL, CIVIL, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL CONTRACTORS AND SHALL BE RESPONSIBLE FOR THE INTEGRATION OF ALL CONTRACTORS. THERE ARE ANY DISCREPANCIES WITH FLOOR PLANS, SCHEDULES, ELEVATIONS, DETAILS, ETC. PRIOR TO SUBMITTAL TO THE ARCHITECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS RESULTING FROM NOT COORDINATING THE ENTIRE SET OF CONTRACT DOCUMENTS.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND CONDITIONS AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH WORK IN THE SPECIFIED AREA.
- COORDINATE EXACT SIZE AND FINAL LOCATION OF ALL MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION EQUIPMENT WITH THE APPROVED MECHANICAL CONTRACTOR PRIOR TO INSTALLATION OF EQUIPMENT AND CONSTRUCTION. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH ANY WORK IN THE SPECIFIED AREA.
- ALL EXISTING SHOWINGS SHALL BE AS SHOWN TO THE GENERAL CONTRACTOR. UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL PROVIDE AND INSTALL ANY REQUIRED FRAME, SCHEDULING, AND/OR ELECTRICAL PANELS IN ALL EXISTING ROOMS. SCHEDULING SHALL BE PRESSURE TREATED.

FLOOR PLAN LEGEND

- 1 HOUR RATED GLASS LIFT SHUTTLE PRESSURE TREATED 2x4 WOOD STUDS @ 18 O.C. REFER TO STRUCTURAL DRAWING FOR EXISTING TYPE. SHEATHING COVERING THE FULL INTERIOR PERIMETER OF THE ADA LIFT SHUTTLE. INSTALLATION BETWEEN EXISTING 2x4 WOOD STUDS SHALL BE PRESSURE TREATED SHEATHING UP FLAMES OR APPROVED EQUAL. WATER AND AIR BARRIER SYSTEM OVER ALL EXTERIOR SHEATHING.
 - 2 LAYER 1/2" EXTERIOR RATED SHEATHING FLAMES OR APPROVED EQUAL. CONSTRUCTION OF SHUTTLE WITH SHEET WATERPROOFING SYSTEM.
 - 2x4 WOOD STUDS @ 18 O.C. REFER TO STRUCTURAL DRAWING FOR EXISTING TYPE. SHEATHING COVERING THE FULL INTERIOR PERIMETER OF THE ADA LIFT SHUTTLE. INSTALLATION BETWEEN EXISTING 2x4 WOOD STUDS SHALL BE PRESSURE TREATED SHEATHING UP FLAMES OR APPROVED EQUAL. WATER AND AIR BARRIER SYSTEM OVER ALL EXTERIOR SHEATHING.
 - 2 LAYER 1/2" EXTERIOR RATED SHEATHING FLAMES OR APPROVED EQUAL. CONSTRUCTION OF SHUTTLE WITH SHEET WATERPROOFING SYSTEM.
- ALTERNATE #1 (ADDITIVES)
NEW OBSERVATION DECK
1. ADD NEW OBSERVATION DECK SCOPE OF WORK TO PROJECT. REFER TO STRUCTURAL AND ELECTRICAL FOR ADDITIONAL INFORMATION.
- ALL BUILDINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2018 INTERNATIONAL BUILDING CODE.



2019 Main Street
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ISSUE DATE	ISSUE BY	ISSUE FOR

GULF STATE PARK
PIER RENOVATION
GULF STATES ALABAMA BEACH

B.C. No. 2019448
GMC No. CMOB190282
GMC No. AMOB190020



OBSERVATION DECK
LAYOUT PLAN

A2.03
Sheet of

OBSERVATION PLATFORM

**GULF VIEW
FACADE**



**ADA LIFT TOWER AND STAIR
FACADE**



OBSERVATION DECK

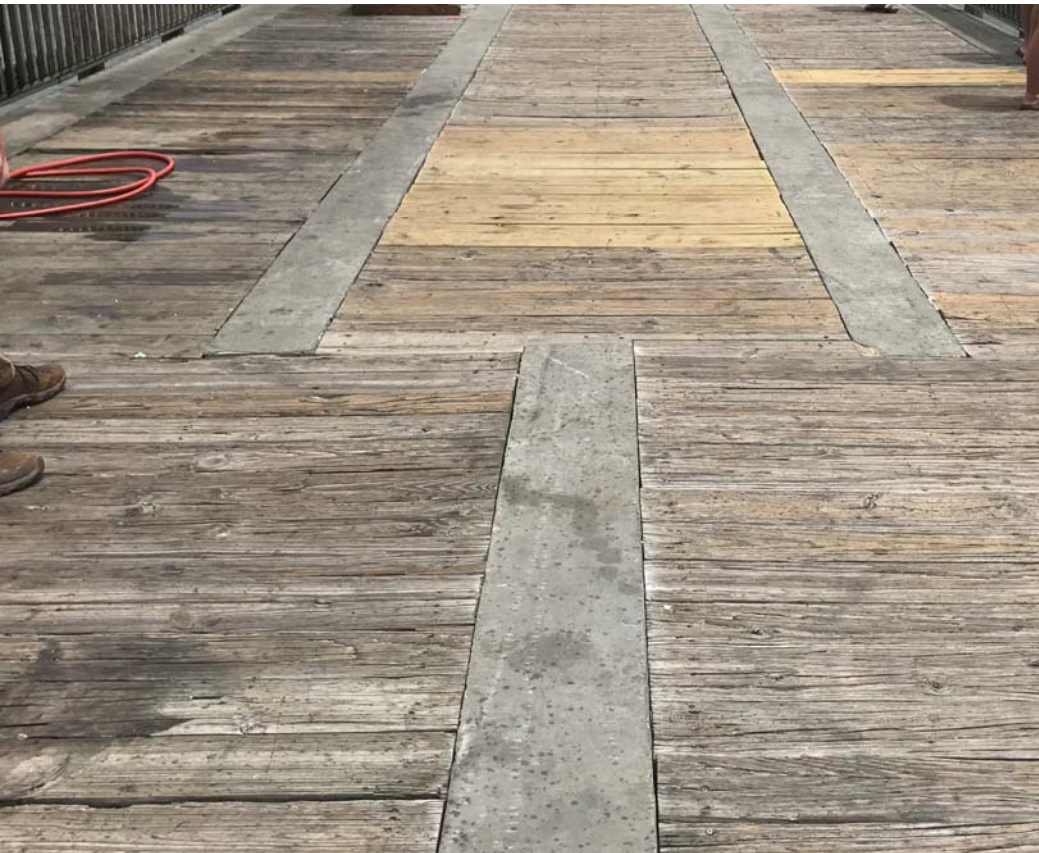


OBSERVATION DECK GULF VIEW



BEFORE AND AFTER DECKING PANELS

BEFORE



AFTER



BEFORE AND AFTER ENTRANCE RAMP

BEFORE



AFTER



BEFORE AND AFTER ADA FISHING AREA

BEFORE



AFTER



BEFORE AND AFTER FISHING CLEANING STATION

BEFORE



AFTER



CLARUS FUSION SYSTEM

- Gulf Shores Utilities required the effluent discharged to be below 280 mg/BOD
- Due to the installation of the EcoTech Fish Cleaning Table with Grinder, onsite pretreatment was necessary
- Two 1,000 gallon septic tanks and one 800 gallon Clarus Fusion Pretreatment System were installed to remove BOD prior to discharge into the City sewer system



BEFORE AND AFTER RAIL LIGHTS

BEFORE



AFTER



BEFORE AND AFTER POLE LIGHTS

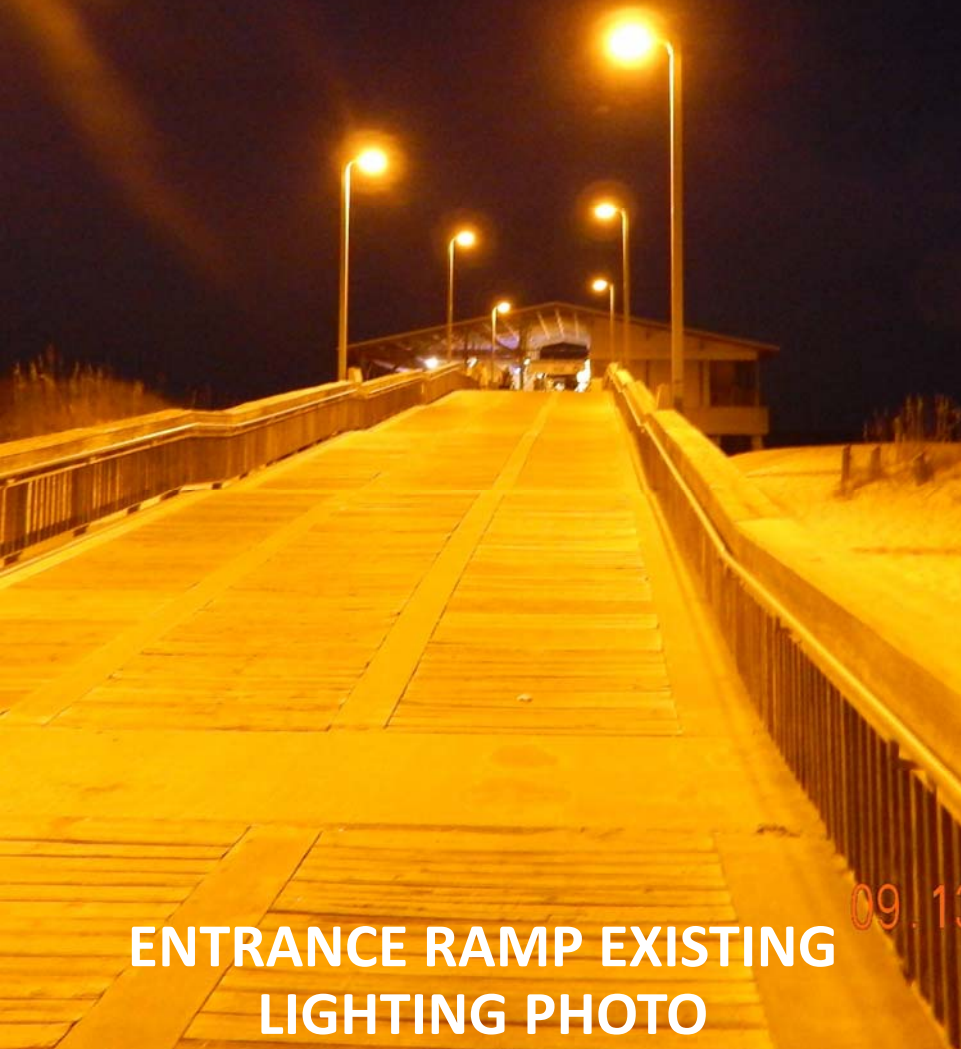
BEFORE



AFTER



EXISTING LIGHTING BEFORE



ENTRANCE RAMP EXISTING
LIGHTING PHOTO



09.13.2019 19:43
EXISTING PIER LIGHTING TYPICAL

RENOVATION ELECTRICAL SCOPE



- The lighting on the project was to be upgraded – one for one - to gain the most impact to improve the lighting but within the allowed budget. The existing electrical conduit and wire was to be re-used.
- The new fixtures were to be Turtle Friendly Amber LED – 560 nanometer wavelength or longer to comply with the Federal Fish and Wildlife requirements.

PROJECT CHALLENGES:

- Provide new lighting complying with Turtle Friendly regulations.
- Using the same locations rather than completely new lighting locations.
- Maintaining enough light to meet the Justice Department requirements for ADA – accommodating wheelchair travel to the end of the pier.
- The new fixtures had shields to minimize glare and prevent (as much as feasible) the source to be seen from the water.
- Poles were reduced from 25' to 12' to comply with Fish and Wildlife requirements.
- The bollards were provided with shields to prevent source to be seen from beachside.

NEW TURTLE FRIENDLY LIGHTING DESIGN



NEW TURTLE FRIENDLY LIGHTING DESIGN







LAST SITE PICTURE SHOWING THE FINISHED PIER
SEPTEMBER 14, 2020
APPROXIMATELY 4 PM



POST HURRICANE SALLY SEPTEMBER 16, 2020

On September 16, 2020 as the project neared completion, the pier was significantly damaged by Hurricane Sally. The eye of the hurricane passed very near or directly over the newly renovated Gulf State Park pier. A 175' section of the pier was completely destroyed by significant high surf conditions (25-30'). Remnants of the pier including modular decking panels that were still fully intact were found up to 5 miles away from the GSP pier site.



QUESTIONS?

